



# APPLICATION FOR SANTEE COOPER WATER BASED PERMIT

**\$325.00 Fee Residential / \$500.00 Fee Commercial**

Incomplete requests will be returned to applicants.

**Check payable to: SANTEE COOPER**

<u>Santee Cooper Use Only</u>	
Account #:	_____
Permit #:	_____
Latitude:	_____
Longitude:	_____
Total Impact Area	_____ ft <sup>2</sup>
Agent:	_____
Date:	_____

Name of Applicant: \_\_\_\_\_

Address of Applicant: \_\_\_\_\_  
\_\_\_\_\_

Applicant's Phone #: (        ) \_\_\_\_\_

Describe the activity, its purpose, and the intended use: \_\_\_\_\_  
\_\_\_\_\_

Lake Marion  Lake Moultrie  Subdivision: \_\_\_\_\_ Lot# \_\_\_\_\_

County: Berkeley  Calhoun  Clarendon  Orangeburg  Sumter

Tax Map Number (TMS): \_\_\_\_\_

Physical address of property: \_\_\_\_\_  
\_\_\_\_\_

**Names and addresses of adjoining Property Owners**

\*Incorrect property owner and address information will result in delay or returned request\*

1. _____ _____ _____	2. _____ _____ _____
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In order to protect the health, safety, and welfare of the public through the regulation of business and individuals who provide contracting work to individuals that may result in code violations, misconduct, gross negligence or incompetence, **The South Carolina Department of Labor, Licensing, and Regulation code 40-11-410, section 4D requires any and all water activity(construction) over the amount of \$5,000.00 to be done by a Licensed Marine Contractor.**

For further information regarding SC code 40-11-410 section 4D visit [www.LLR.state.sc.us](http://www.LLR.state.sc.us) or call the South Carolina Department of Labor, Licensing, and Regulation Contractor's Licensing Board at (803) 896-4686.

I hereby certify that I have read the specification information for the above proposed activity and the information above concerning SC Code 40-11-410 Section 4D. By signing I state that the information in this application, to the best of my knowledge, is true, complete and accurate.

_____	_____
<b>Applicant (Lease Holder) or (Property Owner)</b>	<b>Date</b>
_____	_____
<b>Applicant (Lease Holder) or (Property Owner)</b>	<b>Date</b>

**Prior to performing any work, permits must be obtained from Santee Cooper granting authorization.**

For additional information concerning Santee Cooper's permitting policies and guidelines, please feel free to contact us with any questions or concerns by calling **(843) 761-8000** extensions listed below or by email, also listed below.

**INSPECTION AND COMPLIANCE – SANTEE COOPER LAKES AND DEVELOPED PROPERTY**

**William Umphlett, Manager**

Ext. 4682

[wdumphlett@santecooper.com](mailto:wdumphlett@santecooper.com)

Inspections and Compliance

Santee Cooper Lakes and Developed Properties

**Joshua Brown, Land Agent**

Ext. 5230

[josh.brown@santecooper.com](mailto:josh.brown@santecooper.com)

Commercial and Residential Properties

Berkeley, Clarendon, and Sumter Counties

## APPLICATION REQUIREMENTS

- a. All residential and commercial application requests must be submitted along with a check in the amount of \$325.00 for residential or \$500.00 for commercial. All checks must be made payable to Santee Cooper. Fees are subject to change. Please check the Santee Cooper Property Management webpage for up-to-date rates and fees.
- b. All requested information must be provided in order for the request to be processed in a timely manner.
- c. Adjacent property owners and addresses must be listed on water-based requests. Incorrect information will result in delay and/or returned requests.  
(This information can be obtained from your local tax office)
- d. Unless adjacent property owner's signature is provided on drawing showing proposed activity, a two (2) week public notice will be necessary. This ensures the adjacent property owners are fully aware of the proposed activity and its proposed location. Objections may be submitted by adjoining owners within this period. All objections will be reviewed for validity.
- e. All structures must be constructed in accordance with Santee Cooper's specifications. Structures failing to meet specifications will be required to be removed or corrected at owner's expense.
- f. Dimensions of the proposed structure must be provided in the drawing.
- g. Vertical distances must be provided where applicable.
- h. The drawing must show property lines, and the imaginary lines extended lakeward with distances to side lot lines.
- i. Proposed structures must be located and staked once request has been submitted. Failure to do so will result in the delay of required field inspection.

## SPECIAL ATTENTION

**In order to protect the health, safety and welfare of the public through the regulation of businesses and individuals who provide contracting work to individuals that may result in code violations, misconduct, gross negligence, or incompetence. The South Carolina Department of Labor, Licensing, and Regulations Code 40-11-410, section 4D requires any and all water activity (construction) over the amount of \$5,000.00 (five thousand dollars) to be done by a Licensed Marine Contractor.**

For information concerning Marine Contractors, contact the South Carolina Department of Labor, Licensing, and Regulations at (803) 896-4686 or visit their website at [www.LLR.state.sc.us](http://www.LLR.state.sc.us)

## PERMITTING INFORMATION

### 1. SAC-RGP #43 Docks and Boat Lifts

#### **Section 1: Piers and Docks**

*Maximum terminal size not to exceed 24' in width x 16' in length*

- a. Piers and docks located in Clarendon, Calhoun, Sumter, and Orangeburg Counties shall not exceed six (6) feet in width. Docks and piers located in Berkeley County shall not exceed four (4) feet in width due to coastal zoning. The size and extension of a dock or pier must be limited to that which is reasonable for the intended use. In some locations such as narrow coves, docks may not be permitted at all.
- b. Piers and docks will be located a minimum of ten (10) feet from adjacent property lines and should not encroach across the imaginary lake ward extension of said property lines. Exceptions will be made under certain circumstances along with written acceptance from adjoining property owners.
- c. Piers and docks may have a "T" or "L" shaped terminal having dimensions not greater than 16 feet in length by 24 feet in width. Walks are typically straight but may be segmented under certain circumstances to be approved by Property Management only.
- d. Hand railings are permissible, provided that the sides of the docks are not enclosed so as to obscure cross-vision and they do not exceed three (3) feet in height.
  - Typical are 2"x 2" pickets on 6" centers.
- e. Piers, docks, floats, and moorings in regard to single-family use are limited to 1 pier per lot.
- f. No sinks, toilets, showers, etc. or any type of equipment or construction which will create or cause any liquid or solid waste to be discharged into the waters of the lakes will be permitted.
- g. All fixed docks must be built at an elevation where the decking is a minimum of two (2) feet above the maximum high-water line of the lake.
- h. Flotation devices on floating docks shall be encased or encapsulated. Styrofoam billets, barrels, or similar devices are not permitted. All flotation docks must be incorporated into overall dimensions of the pier/dock.
- i. White reflective tape or white reflectors are required on each furthestmost waterward corner of the pier and every twenty (20') feet on both sides of the length of the pier.
- j. All or a portion of the pier terminal 24' (W) x 16' (L) may be permanently covered. Roofs may be gabled or hip. Flat roofs are not allowed. Roofs must be constructed with any modern type of residential covering. Roofs are not to exceed thirteen (13) feet in height from the top of pitch to the decking of the pier or fifteen (15) feet in height from top of pitch to the water surface (high water mark). Pier walks or any portion thereof cannot be covered.

## **Section 2: Boat Lifts and Covered Boat Lifts**

*Maximum size not to exceed sixteen (16) feet in width x thirty (30) feet in length*

- a. Roofs may be gabled or hip, flat roofs are not allowed. Gable or hip roofs are not to exceed thirteen (13) feet in height from the top of pitch to the decking of the pier or fifteen (15) feet in height from the top of pitch to the water surface. Roofs over boatlifts cannot exceed the 16' x 30' dimension allowed.
- b. Boat lifts may be located a minimum of ten (10) feet from adjacent property lines and should not encroach across imaginary lake ward extension of said property lines. A variance in the distance from the adjacent property lines may be granted in instances where conformity with existing structures would be practical and in cases where exceptions would be desirable due to the curvature of the shoreline.
- c. Boat lift dimensions will not exceed sixteen (16) feet in width by thirty (30) feet in length. Walks are allowed to be constructed around boat lifts. Walks cannot exceed two (2) foot in width and must be within the footprint of the 16' x 30' dimensions. Exceptions for walk width can be made to allow for three (3) feet for handicap access but must still not exceed overall allowable dimensions.
- d. Uncovered boat lifts will be considered for all areas of Lake Marion and Lake Moultrie provided that when fully raised, the bottom of the boat may not exceed the height of the decking of the pier or dock. The total height of any portion of the lift will not exceed thirteen (13) feet above the maximum high-water line of the lake. Uncovered lifts for personal watercraft such as jet skis will also be considered, however, no more than two (2) per waterfront lot will be allowed.

## **2. SAC-RGP #44 Bank Stabilization**

### **Section 1: Retaining Walls and Groin Walls**

*Retaining Walls/Bulkheads and Groins. Bank stabilization activities necessary for erosion prevention provided the activity meets all of the following criteria:*

- a. The recapturing of land by earthen fill will not be permitted.
- b. No material is placed in excess of the minimum needed for erosion protection.
- c. The activity cannot exceed more than 500 feet in length along the shoreline.
- d. Riprap must consist of clean stone or masonry material free of all potential sources of pollution. Riprap must have prior approval from Santee Cooper.
- e. Groins and retaining walls may be constructed of treated wood, concrete, vinyl sheeting, or some other suitable material that has received prior approval by Santee Cooper.
- f. Groin walls must be a minimum of two (2) feet above the maximum high-water mark of the lake and must not be excessive in length. Groin walls must be clearly marked and lighted by US Coast Guard standards so as not to be a hazard to safe navigation.

*(SAC-RGP#44 Continued)*

- g. Only clean earthen fill free of all potential sources of pollution may be used as backfill material. The backfilled area must be stabilized with vegetative cover after construction to minimize erosion.

### **3. SAC-RGP#45 Excavation**

*For questions concerning dredging/excavation permitting contact Santee Cooper Property Management.*

### **4. SAC-RGP#50 Piles and Pile Supported Structures/Mooring Structures**

#### **Section 1: Moorings**

- a. Mooring structures, such as dolphins, pilings, or buoys, shall not be located greater than 20' laterally from the side of the associated pier or dock when associated with the pier or dock. The number of such structures shall not exceed two (2) per property. A variance in the location and number of buoys may be considered on a case-by-case basis provided their location does not interfere with navigation or aesthetic values.
- b. Structures and vessels secured to the structures shall not hinder or pose a hazard to navigation.
- c. Special aquatic sites, including wetlands, shall not be impacted.

### **5. SAC-RGP #51 Boat Ramps and Marine Railways**

#### **Section 1: Boat Ramps**

- a. Boat ramps will be constructed of reinforced concrete. Uses of asphalt compounds or petroleum products are not authorized under this General permit. **Boat ramps may be up to sixteen (16) feet wide, and the minimum length required to be functional.**
- b. Boat ramps will be located a minimum of ten (10) feet from the adjacent property lines and should not encroach across the imaginary lakeward extension of said property lines. A variance in the distance from the adjacent property lines may be granted in instances where conformity with existing structures would be practical and in cases where exceptions would be desirable due to the curvature of the shoreline.
- c. Vegetated wetlands must be avoided to the maximum extent practicable. If a proposed boat ramp would affect more than 500 square feet of vegetated wetlands, a review and concurrence of the U.S. Fish and Wildlife Service and the South Carolina Department of Natural Resources are required.

#### **Section 2: Marine Railways**

- a. Marine railways extending from onshore boat houses must not interfere with navigation.

(SAC-RGP #51 Continued)

- b. Marine railways will be located at a minimum of ten (10) feet from adjacent property lines and should not encroach across the imaginary lakeward extension of said property lines. A variance in the distance from the adjacent property lines may be granted in instances where conformity with existing structures would be practical and in cases where exceptions would be desirable due to the curvature of the shoreline.

**6. SAC-RGP #52 Buoys and Signs:**

- a. Buoys and signs for the purpose of public information or safety may be authorized, if approved by Santee Cooper.
- b. Buoys and signs shall not hinder or pose a hazard to navigation.



## PIER/MOORING POLE REQUEST

*Note: Below shows typical and preferred styles and shapes of proposed pier.*

**Materials containing Creosote are not allowed.**

1. Check box indicating proposed pier layout.
2. Place dimension (Length and Width) where indicated.
3. Indicate floating portion of pier/terminal with dimensions (Length and Width)
4. Indicate location of mooring pilings and distance from poles to pier.  
(Mooring structures cannot be located beyond 20' laterally from the side of the pier)  
(The number of mooring structures shall not exceed two (2))
5. Indicated distances to property lines (show on addition sheet)

- Fixed Pier
- Floating Pier
- Fixed Walk w/  
floating terminal
- Mooring pilings
- OTHER

**Walkway Only**

Distance to property line

Distance to property line

Length

Width

Extended Imaginary Property Line

Width of walk \_\_\_\_\_ ft.

Length of walk \_\_\_\_\_ ft.

**Walkway with "Left" L shaped terminal**

Width

Length

Terminal

Distance to property line

Distance to property line

Walkway

Extended Imaginary Property Line

Width of walk \_\_\_\_\_ ft.

Length of walk \_\_\_\_\_ ft.

Terminal Length \_\_\_\_\_ ft.

Terminal Width \_\_\_\_\_ ft.

Total Length \_\_\_\_\_ ft.

**Walkway with T shaped terminal**

Width

Length

Terminal

Distance to property line

Distance to property line

Walkway

Extended Imaginary Property Line

Width of walk \_\_\_\_\_ ft.

Length of walk \_\_\_\_\_ ft.

Terminal Length \_\_\_\_\_ ft.

Terminal Width \_\_\_\_\_ ft.

Total Length \_\_\_\_\_ ft.

**Walkway with "Right" L shaped terminal**

Width

Length

Terminal

Distance to property line

Distance to property line

Walkway

Extended Imaginary Property Line

Width of walk \_\_\_\_\_ ft.

Length of walk \_\_\_\_\_ ft.

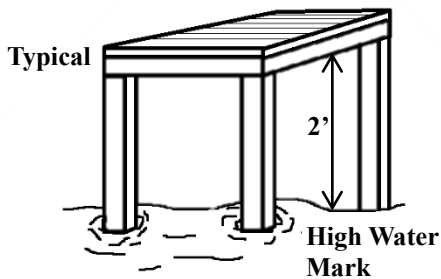
Terminal Length \_\_\_\_\_ ft.

Terminal Width \_\_\_\_\_ ft.

Total Length \_\_\_\_\_ ft.

**Attention Requester:**

By submitting this request, you certify that all shall hold indemnify and save harmless Santee Cooper from all liability, however arising to any and all persons whomever, whether for personal injuries or otherwise, by reason of construction and/or maintenance, or safety or condition of any constructions of lands and interest of Santee Cooper and from any damage or injury whomsoever from defects in or defective conditions of said construction.



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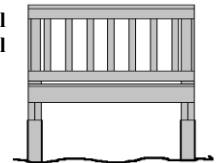


**Handrails**

2" x 2" pickets on 6" center

Handrails not to exceed 3' in height

**Handrail  
Optional**



**No "Lattice" Allowed**



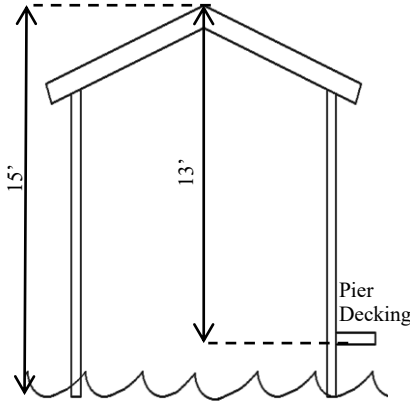


# BOATLIFT AND JETSKI LIFT REQUEST

\*Check box showing proposed structure and place dimensions as requested

SEE ADDITIONAL SHEET FOR FURTHER INFORMATION

COVERED BOATLIFT

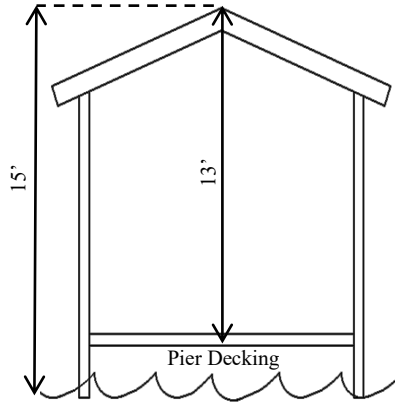


LENGTH \_\_\_\_\_ ft.

WIDTH \_\_\_\_\_ ft.

HEIGHT \_\_\_\_\_ ft.

COVERED PIER TERMINAL

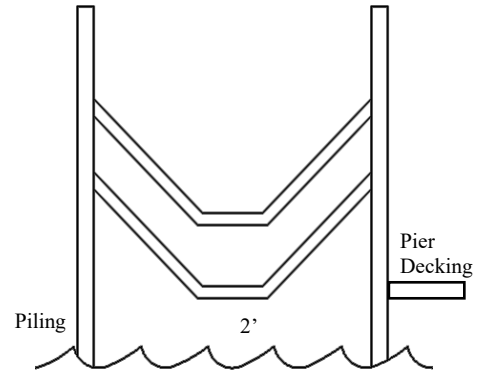


LENGTH \_\_\_\_\_ ft.

WIDTH \_\_\_\_\_ ft.

HEIGHT \_\_\_\_\_ ft.

UNCOVERED BOATLIFT



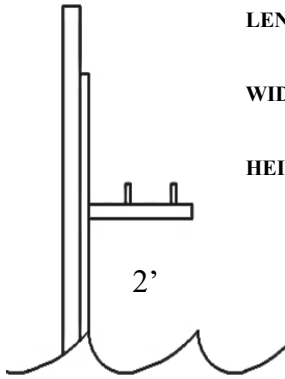
LENGTH \_\_\_\_\_ ft.

WIDTH \_\_\_\_\_ ft.

HEIGHT \_\_\_\_\_ ft.

Note: When fully raised the bottom of the boat cannot exceed the height of the pier decking.

JET SKI LIFT

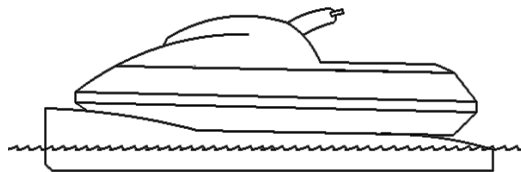


LENGTH \_\_\_\_\_ ft.

WIDTH \_\_\_\_\_ ft.

HEIGHT \_\_\_\_\_ ft.

FLOATING BOAT/JET SKI DOCK



LENGTH \_\_\_\_\_ ft.

WIDTH \_\_\_\_\_ ft.

HEIGHT \_\_\_\_\_ ft.

### LIST TYPE OF MATERIALS FOR PROPOSED STRUCTURE

Materials containing Creosote are not allowed. Roofing must be residential grade.

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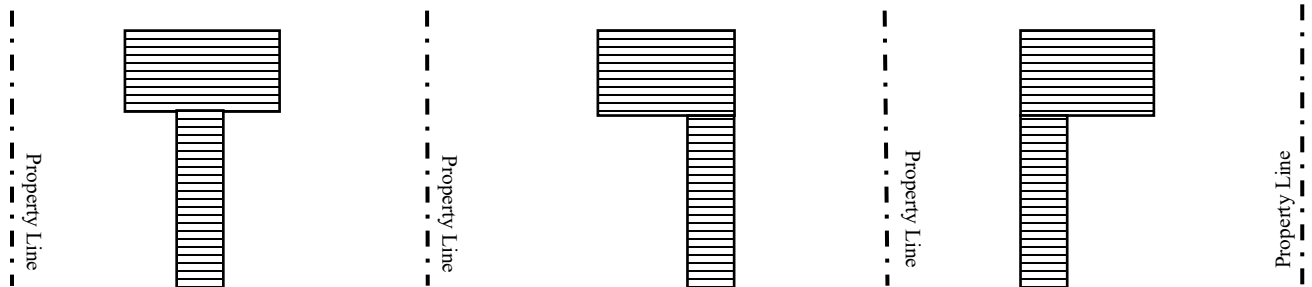


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1. Show location of boatlift or Jet Ski lift in relation to pier.
2. Show distances from lift to side lot line (min. 10' required)



#### Attention Requester:

By submitting this request you certify that all shall indemnify and hold Santee Cooper harmless from all loss, cost, damage, expense and from all claims and demands, therefor from any and all persons whomever, whether for personal injuries or otherwise by reason of construction and/or maintenance, or safety or condition of any constructions of lands and interests of Santee Cooper and from any damage or injury whomsoever from defects in or defective conditions of said construction.

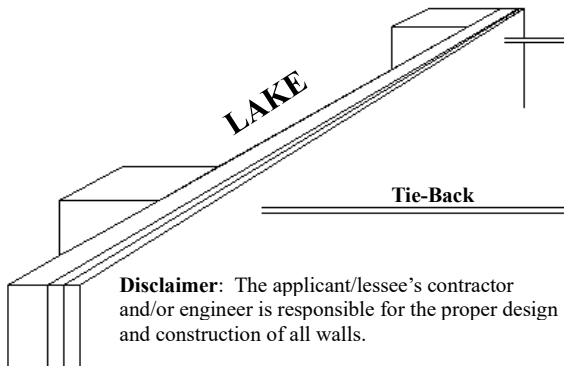
# RETAINING WALL AND BOAT RAMP REQUEST



**Attention Requester:**

By submitting this request you certify that all shall indemnify and hold Santee Cooper harmless from all loss, cost, damage, expense and from all claims and demands, therefore from any and all persons whomever, whether for personal injuries or otherwise by reason of construction and/or maintenance, or safety or condition of any constructions of lands and interests of Santee Cooper and from any damage or injury whomsoever from defects in or defective conditions of said construction.

**Typical**



**RETAINING WALLS**

1. Provide drawing showing location of wall in relationship to property.

*Materials containing Creosote are not allowed*

Total length of proposed wall: \_\_\_\_\_ ft.

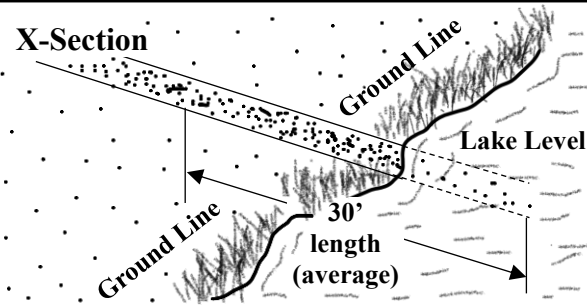
Materials to be used: \_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

**X-Section**



**BOAT RAMPS**

1. Provide drawing showing location of boat ramp in relationship to property.
2. Show setbacks from side property lines.

Length \_\_\_\_\_ ft.

12'



Total Length of proposed boat ramp \_\_\_\_\_ ft.

Materials to be used: \_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

**ADDITIONAL SHEET FOR DRAWINGS**

